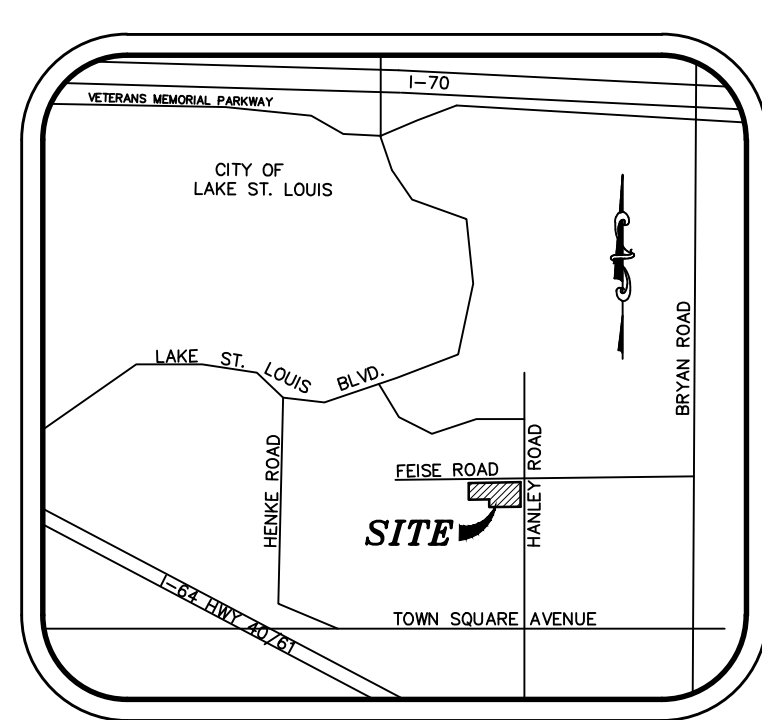


AN AREA PLAN FOR VILLAS AT DARDENNE PLACE PHASE 3

A TRACT OF LAND BEING PART OF LOT 4 & LOT 5 OF "BATES DIVISION" AND BEING PART OF THE SW QUARTER OF SECTION 2 TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF DARDENNE PRAIRIE ST. CHARLES COUNTY, MISSOURI

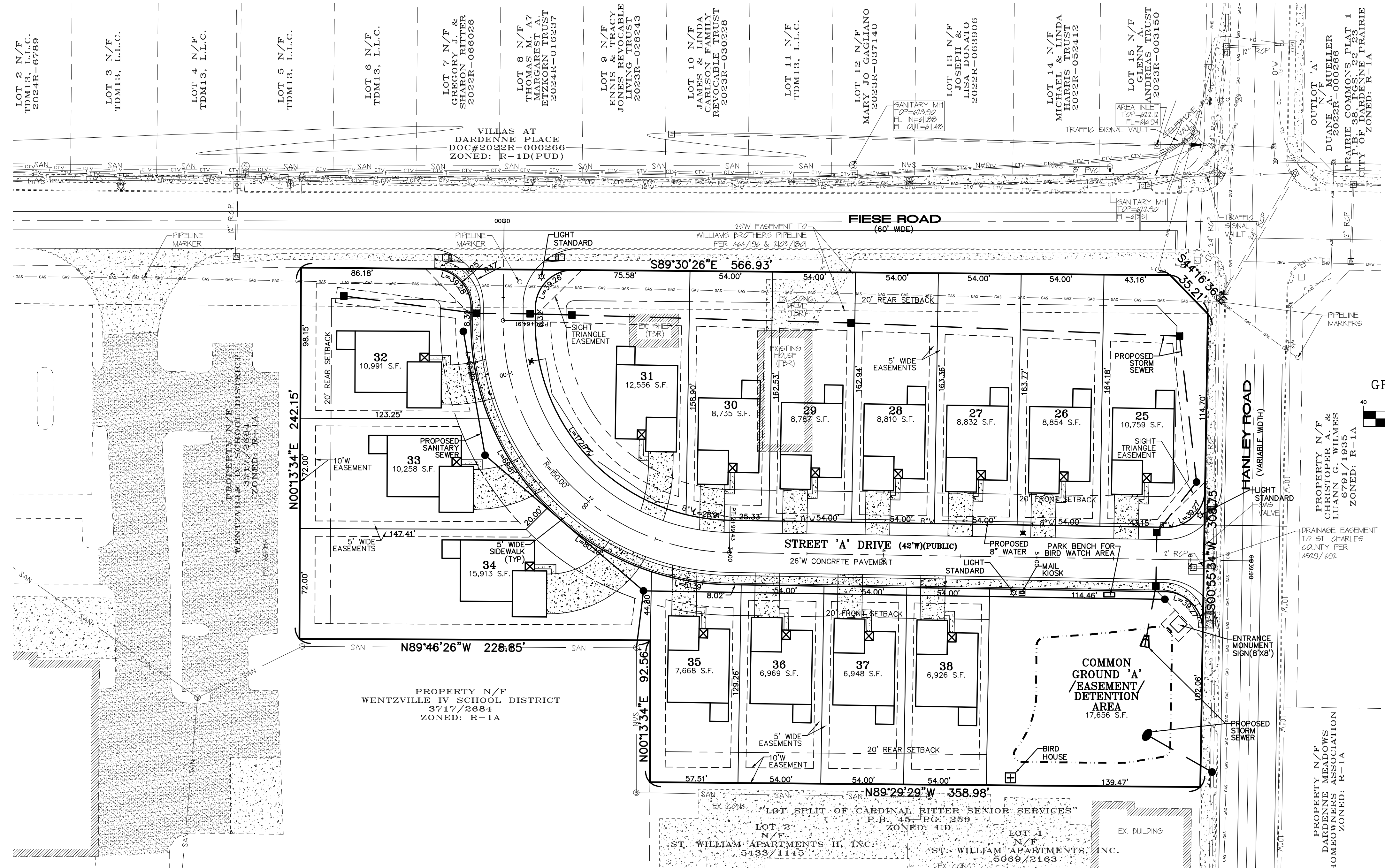
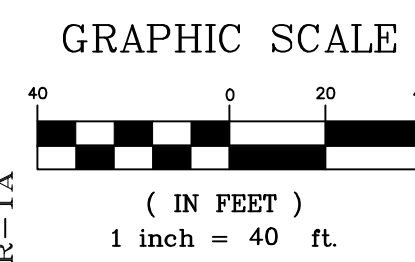


- SHEET INDEX:**
- 1 SITE PLAN
 - 2 GRADING PLAN
 - 3 LANDSCAPE PLAN
 - 4 STORMWATER MANAGEMENT PLAN

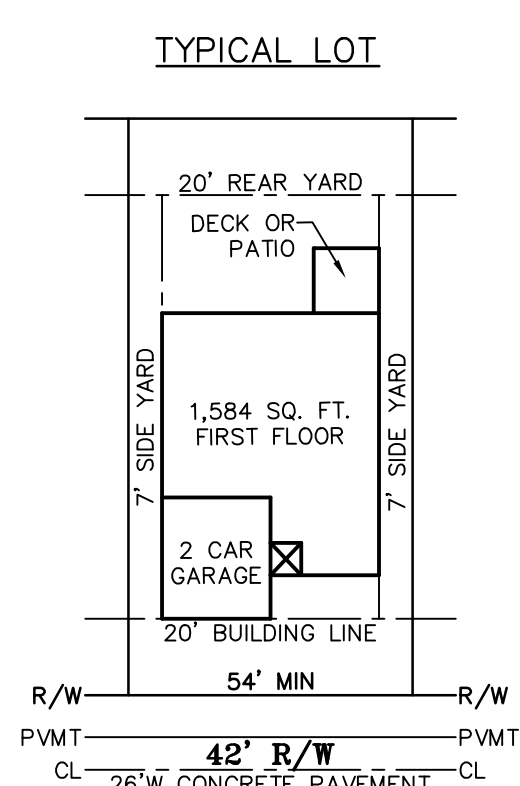
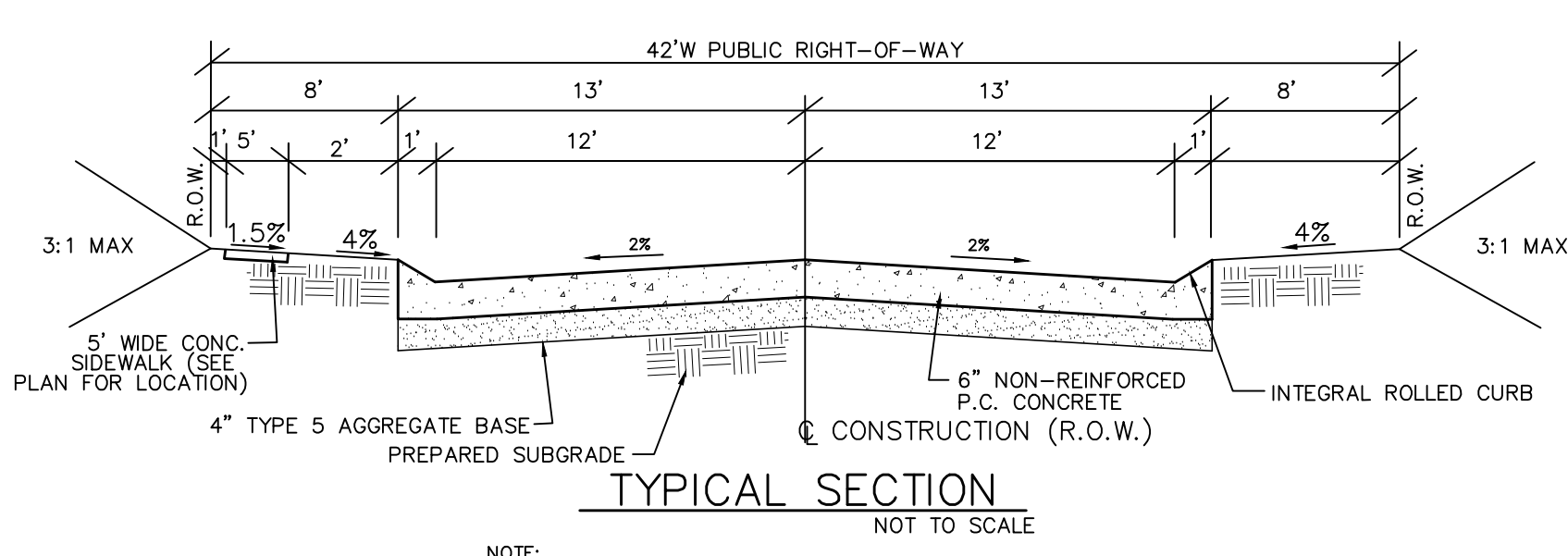
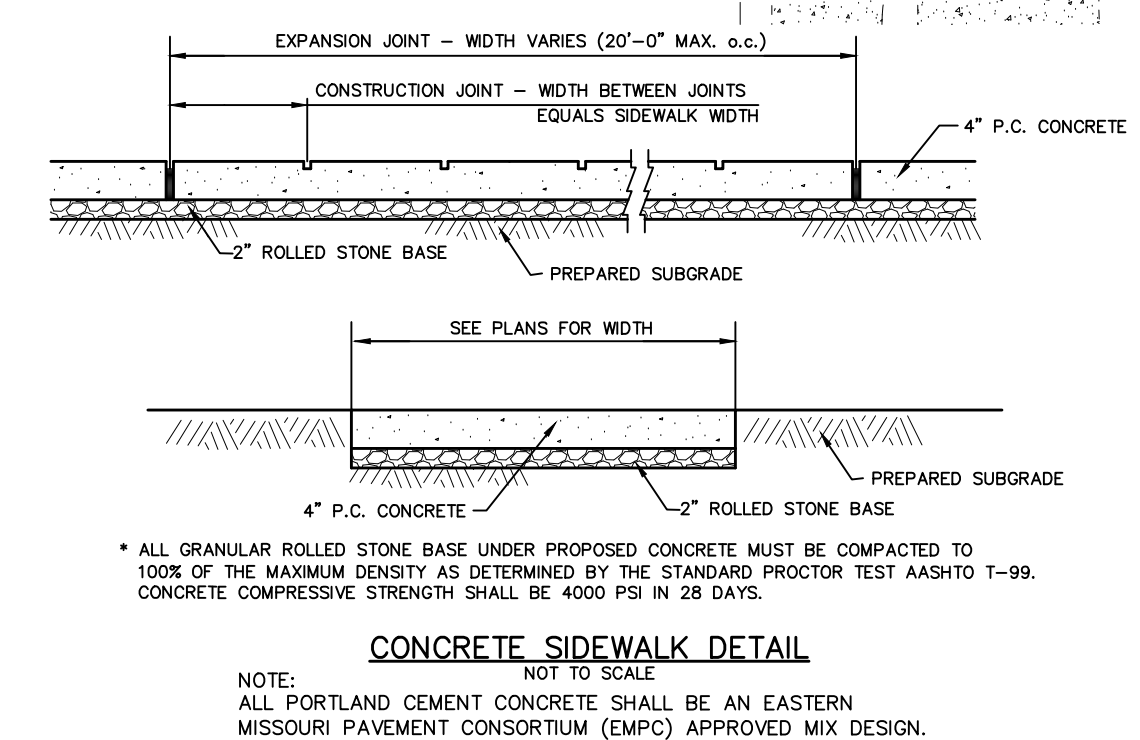
DEVELOPMENT NOTES:

1. Area of Tract: 4.02 Acres
2. Existing Zoning: R-1A, Residential
3. Proposed Zoning: R-1D, PUD
4. Proposed Use: Single Family Residential
5. Proposed Lots: 14 Lots
6. Property Owner: K Properties, 7420 Blond Drive, St. Louis, MO 63105-2102
7. Developer: Bridgewater Communities, Inc., P.O. Box 4607, Chesterfield, MO 63005
8. Zoning Requirements:
 - R-1D: Minimum Lot Area: 12,000 sq. ft., Minimum Lot Width: 85', Minimum Lot Depth: 100 ft., Minimum Front Yard Setback: 25 ft., Minimum Side Yard Setback: 10 ft., Minimum Rear Yard Setback: 25 ft., Maximum Lot Coverage: 30%, Maximum Height of Structures: 2.5 Stories or 35 Feet, Minimum Dwelling Size: One Story Residential: 1,600 sq. ft. (Excluding Garage & Basement)
 - Requested Deviations: Minimum Lot Area: 6,926 sq. ft., Minimum Lot Width: 20 ft., Minimum Front Yard Setback: 20 ft., Minimum Side Yard Setback: 7 ft., Minimum Rear Yard Setback: 20 ft., Maximum Lot Coverage: 36%, No Sidewalk on North side of street
9. Site served by the following:
 - Sanitary Sewer: Duckett Creek Sewer District
 - Water: Public Water Supply District No. 2
 - Telephone: CenturyLink
 - Electric: Cuivre River
 - Gas: Spire
 - Fire: Wentzville Fire Protection District
 - School: Wentzville School District
10. Site breakdown:
 - Overall Site Area = 175,452.31 s.f.
 - Area of Right-of-way dedication = 24,783.06 s.f.
 - Area of Lots = 133,012.30 s.f.
 - Area of Usable Common Ground = 17,656.95 s.f.
11. Average Lot Area:
 - Area of Lots = 133,012.30 s.f.
 - 133,012.30 s.f. / 14 Lots = 9,500.87 s.f.
12. Density Calculations:
 - Overall Site minus Right-of-way = 150,669.25 s.f.
 - 150,669.25 s.f. / 12,000 s.f. = 12.5
 - Density Bonus: For every 5% of Usable Common Ground, earn 10% bonus.
 - 5% of Overall Net Development Area Usable Common Ground = 8,772 s.f.
 - This Density Bonus allowed = 12.5 x 1.2 = 15
13. Woodland Area Calculations: No woodlands onsite.
14. Landscaping Required:
 - All lots having 40% or less open space must have a minimum of 20% of that open space landscaped.
 - 17,656.95 s.f. / 175,452.31 s.f. = 10.06%
 - 10.06% < 40%, then 17,656.95 s.f. x 20% = 3,531.39 s.f. (Required Landscape Credit)
 - Total Landscape Credit Provided = 9 Trees @ 400 s.f. each = 3,600 s.f.

1. Tree planted in front of each lot having 79' or less road frontage. Lots having 80' or more road frontage shall have 1 Tree planted for every 40' of frontage.
- Lots having 79' or less road frontage:
 - Lot 33 = 69.81 l.f. / 40 l.f. = 2 Tree (Street 'A' Court frontage)
 - Lot 35 = 59.41 l.f. / 40 l.f. = 1 Tree (Street 'A' Court frontage)
 - Lot 36 = 54.00 l.f. / 40 l.f. = 1 Tree (Street 'A' Court frontage)
 - Lot 37 = 54.00 l.f. / 40 l.f. = 1 Tree (Street 'A' Court frontage)
 - Lot 38 = 54.00 l.f. / 40 l.f. = 1 Tree (Street 'A' Court frontage)
- Lots having 80' or more road frontage:
 - Lot 25 = 275.48 l.f. / 40 l.f. = 7 Trees (Fiese Rd, Hanley Rd & Street 'A' Court frontage)
 - Lot 26 = 108.00 l.f. / 40 l.f. = 3 Trees (Fiese Rd & Street 'A' Court frontage)
 - Lot 27 = 108.00 l.f. / 40 l.f. = 3 Trees (Fiese Rd & Street 'A' Court frontage)
 - Lot 28 = 108.00 l.f. / 40 l.f. = 3 Trees (Fiese Rd & Street 'A' Court frontage)
 - Lot 29 = 108.00 l.f. / 40 l.f. = 3 Trees (Fiese Rd & Street 'A' Court frontage)
 - Lot 30 = 108.24 l.f. / 40 l.f. = 3 Trees (Fiese Rd & Street 'A' Court frontage)
 - Lot 31 = 295.93 l.f. / 40 l.f. = 7 Trees (Fiese Rd & Street 'A' Court frontage)
 - Lot 32 = 199.65 l.f. / 40 l.f. = 5 Trees (Fiese Rd & Street 'A' Court frontage)
 - Lot 34 = 80.26 l.f. / 40 l.f. = 2 Trees (Street 'A' Court frontage)
 - Common Ground 'A' = 255.79 l.f. / 40 l.f. = 7 Trees (Hanley Rd & Street 'A' Court frontage)
- Total Street Trees Required = 49
Trees Street Trees Provided = 49
- Per Flood Insurance Rate Map No. 29183C0220G, dated January 20, 2016. This tract lies within Zone 'X', areas determined to be outside the 0.2% annual chance floodplain.
- All proposed utilities to be located underground.
- This site will be developed in one phase.
- Parking Spaces Provided: 4 Spaces per Unit (2 Garage Spaces & 2 Driveway Spaces)
- Street lighting will be private and maintained by the Homeowners Association.
- Project Benchmark-A-149 - Elevation 630.08 - NAVD88 DATUM - Standard Disk, stamped A 149 1935. Located in the Northwest wingwall of the Norfolk and Western Railroad bridge over US Highway 61 Business.
- The sanitary sewers for all proposed homes shall drain by gravity.



- LEGEND:**
- FLARED END SECTION
 - EX. SANITARY SEWER MANHOLE
 - EX. STORM SEWER MANHOLE
 - EX. GRATE INLET
 - EX. CURB/AREA INLET
 - PROPOSED CURB/AREA INLET
 - PROPOSED MANHOLE
 - FIRE HYDRANT
 - POWER POLE
 - LIGHT STANDARD
 - SAN - EX. SANITARY SEWER
 - 12" - EX. 12" WATER MAIN
 - OV - EX. OVERHEAD ELECTRIC
 - F - EX. FENCE
 - T - EX. TELEPHONE LINE
 - GAS - EX. TELEPHONE LINE
 - FM - EX. FORCE MAIN
 - - TREE LINE
 - - PROPOSED SANITARY SEWER
 - - PROPOSED STORM SEWER
 - - PROPOSED EASEMENTS
 - CI - CURB INLET
 - AI - AREA INLET
 - GI - GRATE INLET
 - OS - OUTFALL STRUCTURE
 - MH - MANHOLE
 - FE - FLARED END SECTION
 - RCP - REINFORCED CONCRETE PIPE
 - PVC - POLY VINYL CHLORIDE (PLASTIC)
 - RMUE - ROADWAY MAINTENANCE AND UTILITY EASEMENT



AN AREA PLAN FOR
VILLAS AT DARDENNE PLACE PHASE 3
#1967 HANLEY ROAD
CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY, MO 63088

Box Engineering
ENGINEERING PLANNING SURVEYING
221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

REVISIONS

DATE	CITY COMMENTS
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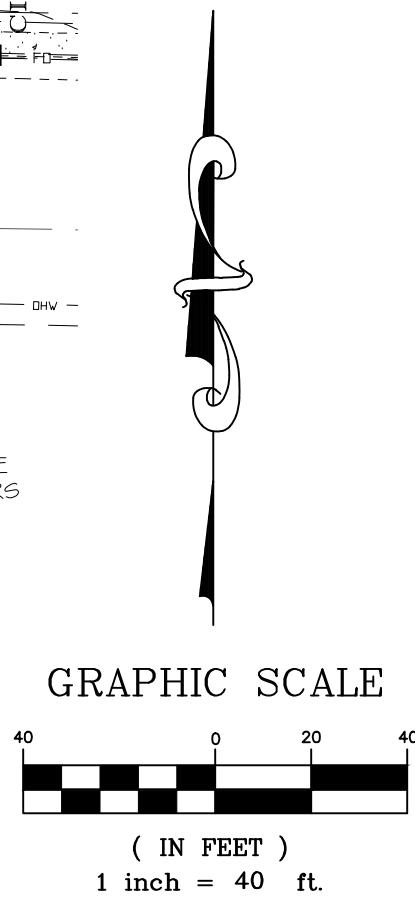
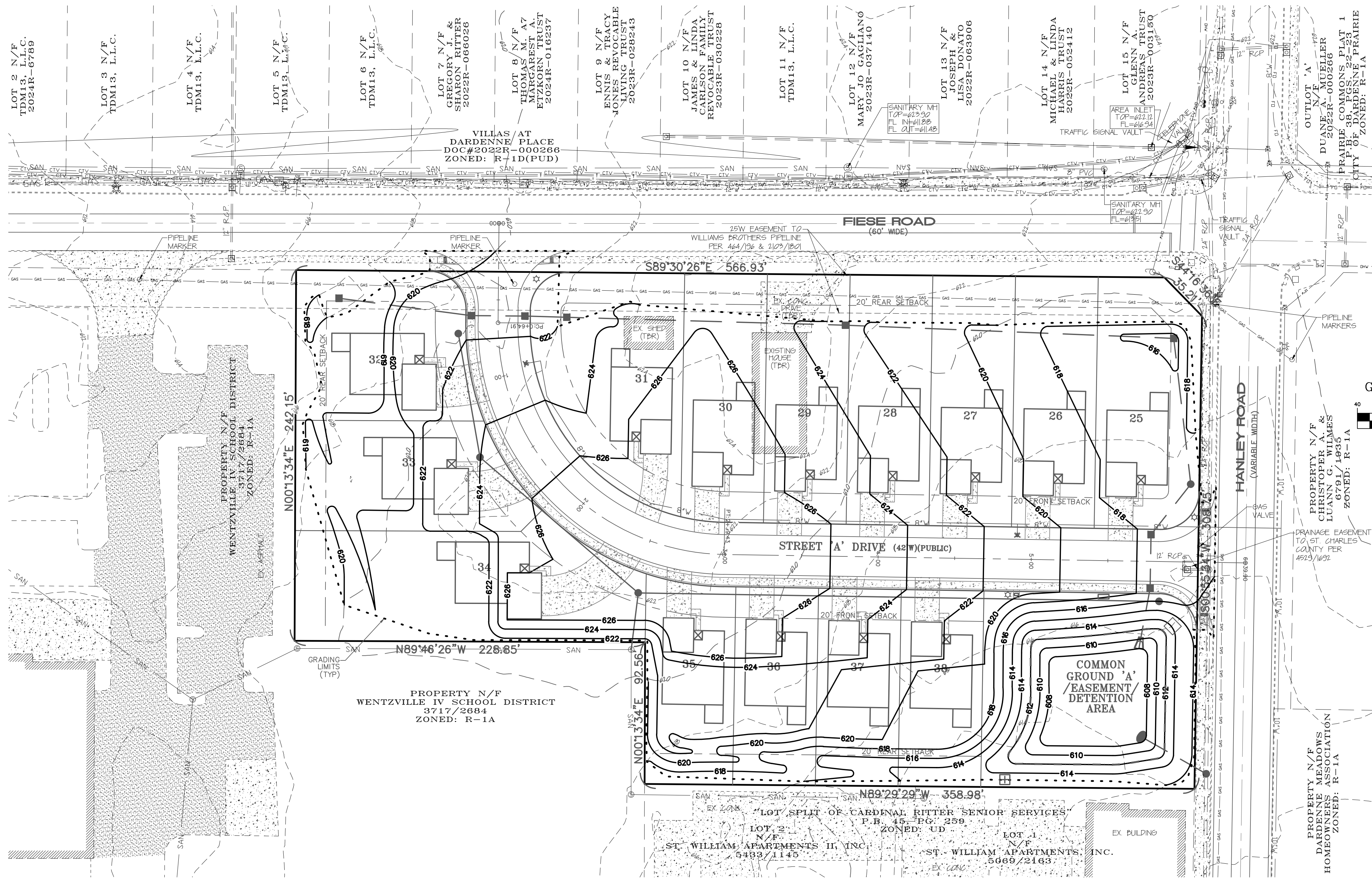
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STATE OF MISSOURI
JEFFREY B. SIMMONS
PROFESSIONAL ENGINEER
NUMBER PE-2007030831
EXPIRES 06/30/24

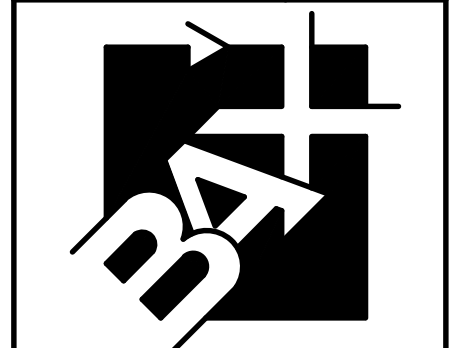
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Civil Engineer
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05/22/2024
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PROJECT NUMBER
12502Hareaplan
FILE NAME
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DESIGNED
JBS
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COVER SHEET
1 of 4



AN AREA PLAN FOR
VILLAS AT DARDENNE PLACE PHASE 3
 #1967 HANLEY ROAD
 CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY, MO 63368

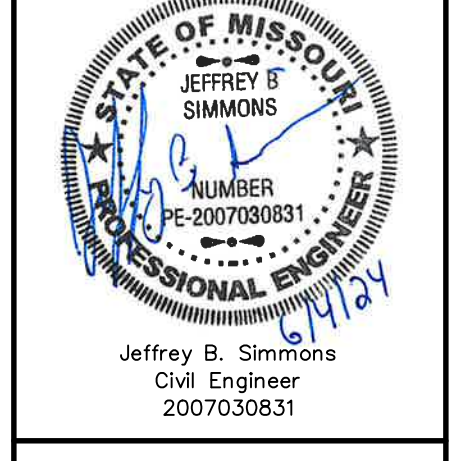


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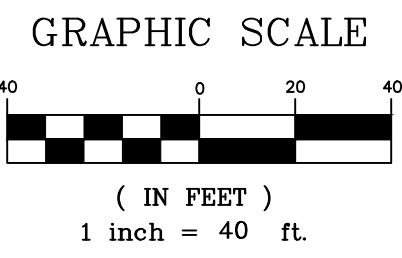
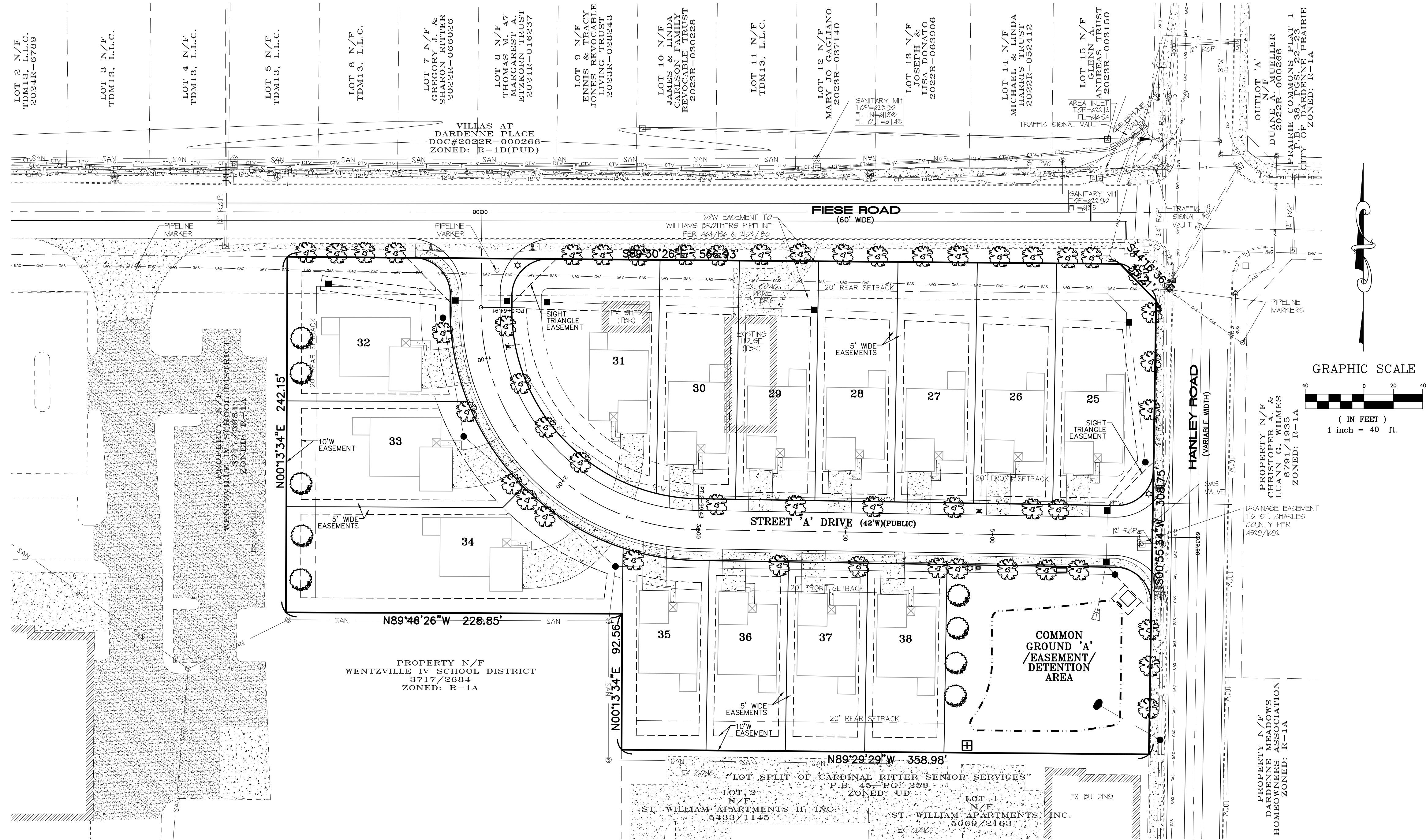
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GRADING
 PLAN

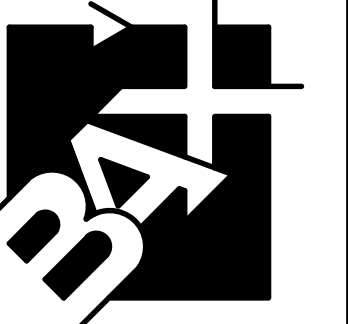
LANDSCAPE LEGEND

-  QTY. (49) ~ PROPOSED RED MAPLE TREE (Mature Height = 45 ft. Tall) (minimum 2" caliper)
-  QTY. (9) ~ PROPOSED WHITE OAK TREE (Mature Height = 60 ft. Tall) (minimum 2" caliper) (400 s.f. credit each)



AN AREA PLAN FOR
VILLAS AT DARDENNE PLACE PHASE 3
#1967 HANLEY ROAD
CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY, MO 63368

PREPARED FOR:
BRIDGEWATER COMMUNITIES, INC.
CHESTERFIELD, MO 63005
636-294-6020



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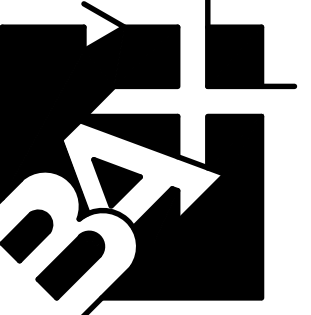
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**LANDSCAPE
PLAN**



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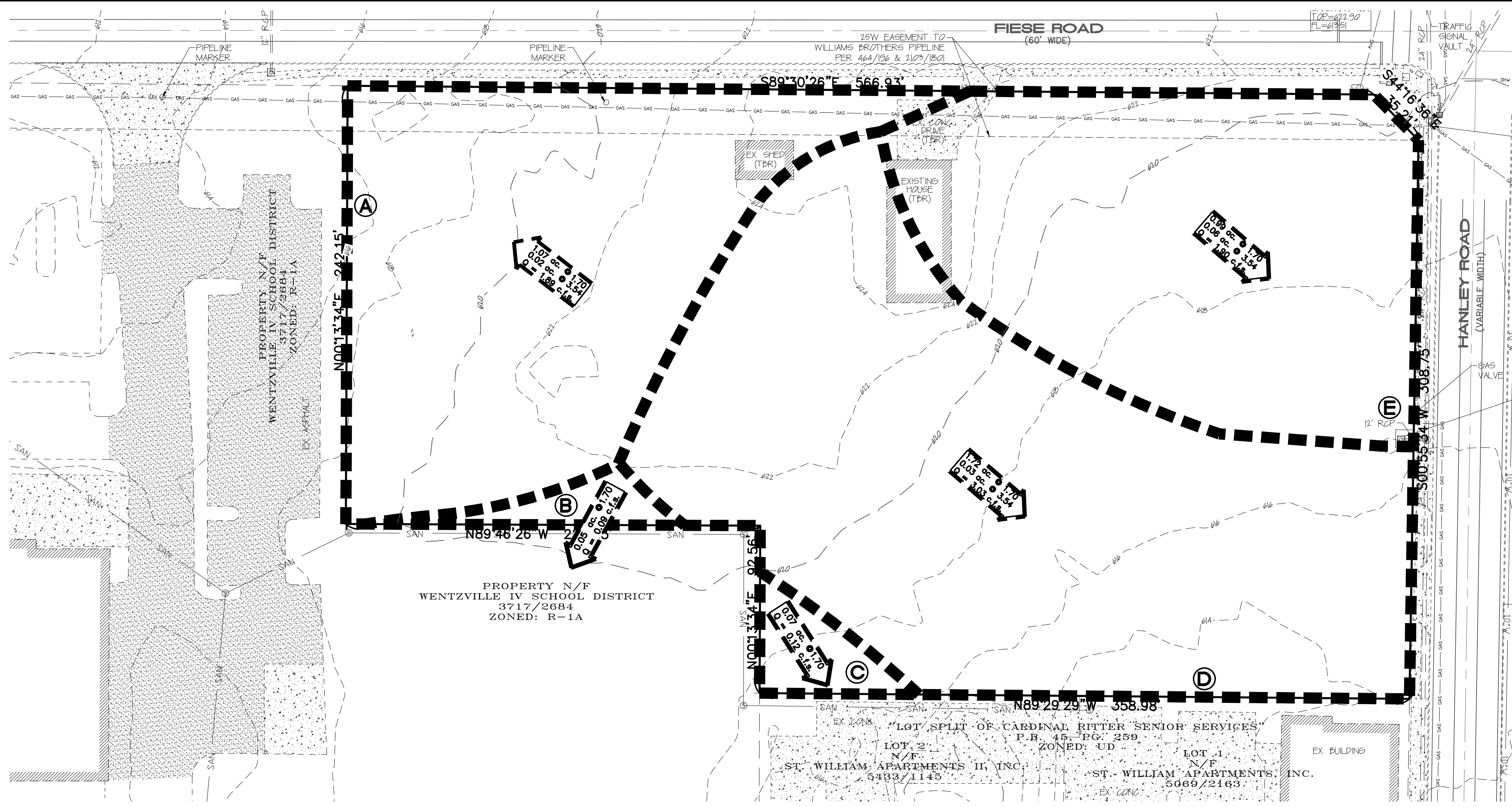
Jeffrey B. Simmons
 Civil Engineer
 2007030831

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**STORMWATER
 MANAGEMENT
 PLAN**

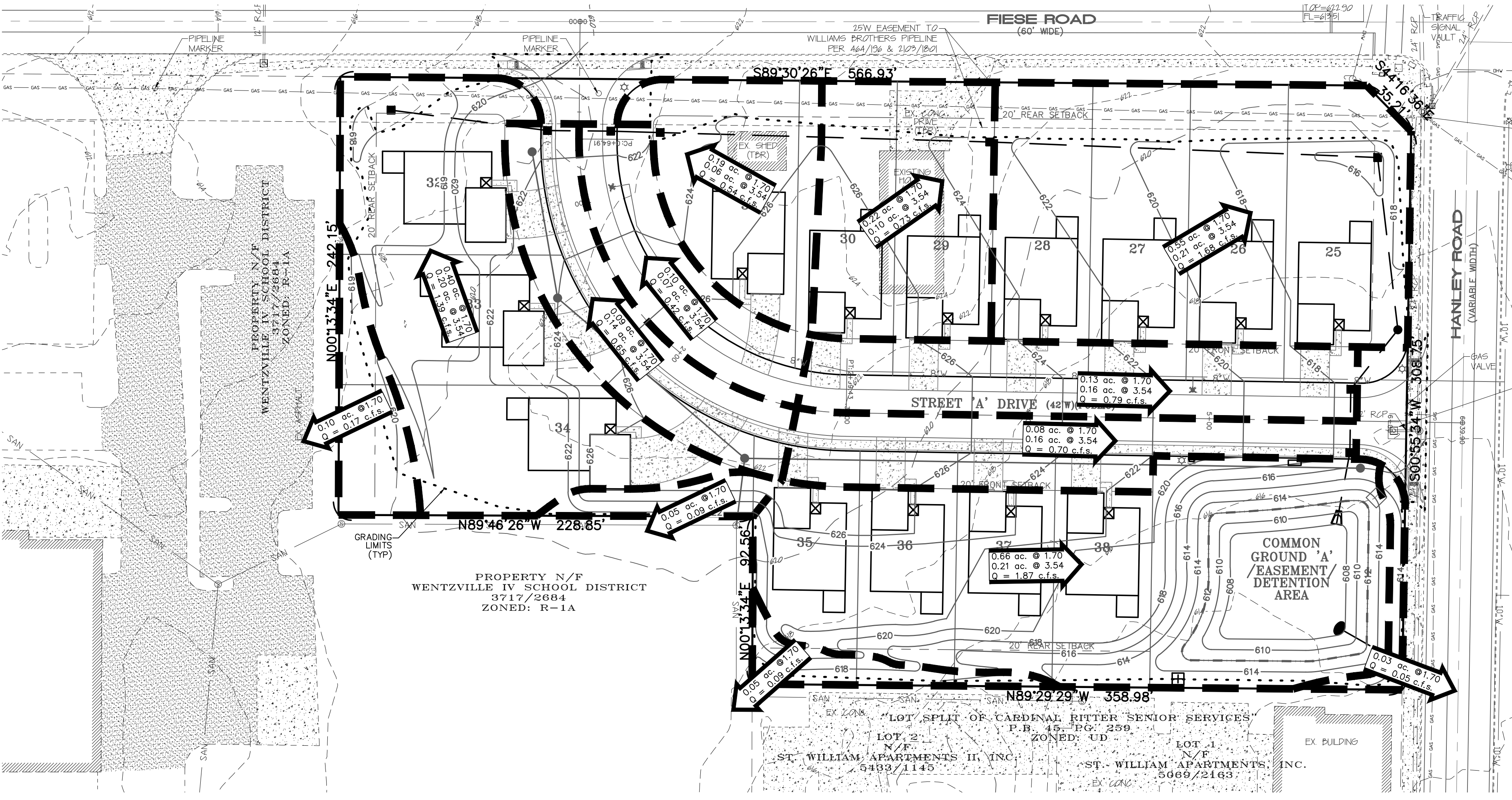
STORMWATER MANAGEMENT PLAN

1. THIS PROJECT REQUIRES STORM WATER DETENTION AND WATER QUALITY CREDITS TO BE DETERMINED USING THE MARC MANUAL.
2. WATER RUNOFF WILL BE COLLECTED IN STORM SEWER SYSTEM AND ROUTED TO BASIN. WATER QUALITY WILL BE ADDRESSED WITH A BIORETENTION AREA. STORM WATER WILL BE ATTENUATED IN THE DETENTION BASIN SUCH THAT DISCHARGE TO THE EXISTING CHANNEL WILL BE THE SAME AS OR LESS THAN THE PRE-DEVELOPED CONDITION FOR THE VARIOUS DESIGN STORM.
3. PRELIMINARY INFORMATION FOR PRE AND POST DEVELOPED RUNOFF IS CONTAINED HEREIN FOR THE 15 YEAR 20 MINUTE STORM.



**PRE-DEVELOPED
 DRAINAGE AREA MAP**

SCALE: 1" = 40'



**POST-DEVELOPED
 DRAINAGE AREA MAP**

SCALE: 1" = 40'

	PRE	POST	DIFFERENTIAL
A	1.89	0.17	-1.72
B	0.09	0.09	0
C	0.12	0.09	-0.03
D	3.03	8.82	5.79
E	1.9	0	-1.9